



Urban Redevelopment Authority

REQUEST FOR PROPOSAL (RFP)

**CONSTRUCTION MANAGEMENT/
CONSTRUCTION INSPECTION SERVICES**

**LIBERTY GREEN PARK
EAST LIBERTY – SITE PREPARATION CONTRACT #4
12TH WARD, CITY OF PITTSBURGH**

RFP Issue Date: June 19, 2018

Proposal Due Date: Noon, July 19, 2018

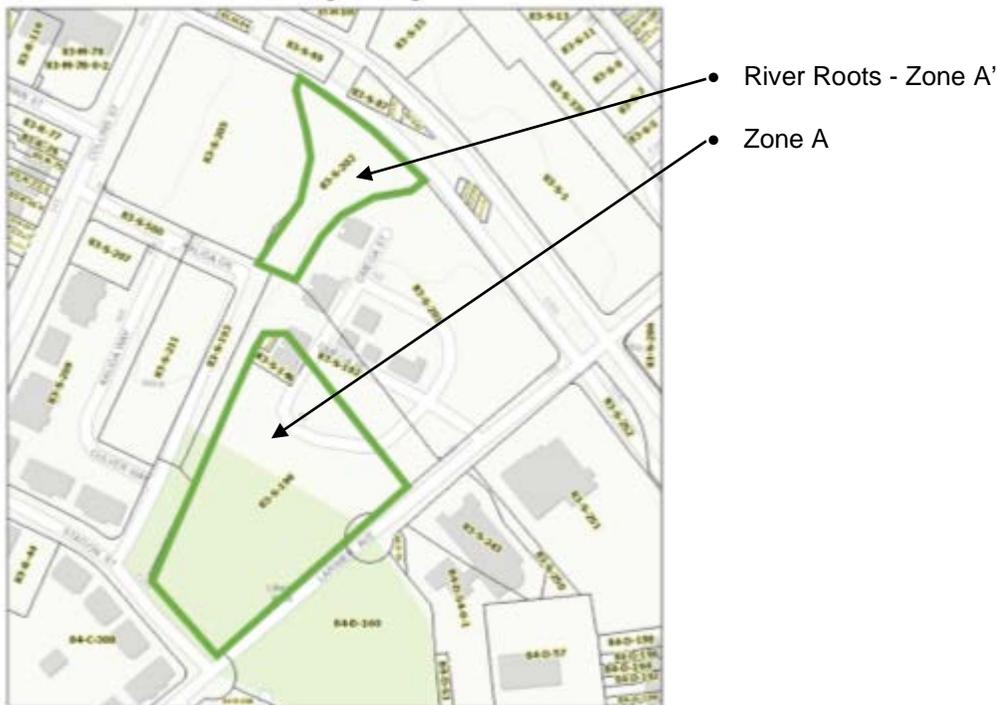
**LIBERTY GREEN PARK CONSTRUCTIONS
CONSTRUCTION MANAGEMENT AND INSPECTION**

REQUEST FOR PROPOSALS

July 19, 2018

The Urban Redevelopment Authority of Pittsburgh (URA) is seeking proposals for construction management and inspection services to oversee the construction of Liberty Green Park in the 12th Ward of the City of Pittsburgh. Liberty Green Park will be constructed at the intersection of the East Liberty and Larimer neighborhoods. The park will include two parcels:

- Zone A bounded by Station Street to the south, Princeton Place to the west, Kalida Drive to the north, and Larimer Avenue to the east; and
- River Roots - Zone A' bounded by East Liberty Boulevard to the north, Kalida Drive to the south, and the Cornerstone Village housing development to the west and east.



The project involves site preparation, bulk site excavation, stormwater retention and catch basins, concrete paving, landscaping, play area and equipment, site furnishings, art elements, and lighting and electrical. The construction cost for the project is expected to be \$4,700,000. Construction Inspection Services is attached as Exhibit A.

The selected firm will not serve as the constructor or designer of the project. Wallace Roberts and Todd, LLC and Evolve EA are the firms responsible for the design of Zone A and River Roots - Zone A' respectively, and will provide consultation services during construction to address design issues and to perform shop drawing review.

The construction of Liberty Green Park is anticipated to be completed in 9 months and the work is expected to begin around August 15, 2018. There will likely be a suspension of work during the winter. Your proposal should allow for a hiatus, and an additional four (4) weeks in your schedule for contract

close-out. Possible construction extensions that may result from unknown field conditions should be included.

Included for your use in the preparation of your proposal are copies of the following drawings from the construction set:

Drawing Number	Title
	Cover Sheet
L-105	Site Demolition Plan – Zone A
L-109	Site Plan – Zone A
L-124	Planting Plan – Zone A
C301	Grading Plan
C701	Utility Plan
L.2	Site Plan – River Roots Zone A'
L.4	Site Planting Plan – River Roots Zone A'
L.11	Landscaping Details - River Roots Zone A'
L.12	Art Element Details – River Roots Zone A'

A full set of construction drawings (58 sheets) is available for review at the URA Engineering & Construction Department, 200 Ross Street, 11th Floor, Pittsburgh, PA 15219. Please contact Mr. Paul Alessio (palessio@ura.org).

To assist the URA in its evaluation of the qualifications of potential construction management/inspection firms, we request that the following information be presented in your response to this RFP, in the same order and format as listed below.

Any supplemental information that you may wish to include regarding your qualifications should be attached as a separate exhibit to your response. Note that the selection criteria listed below are not necessarily listed in order of ranking importance.

PROPOSAL REQUIREMENTS

1. Identify personnel that will be assigned to work as office support staff during construction of the project. Attach resumes of key personnel.
2. Provide a list of projects completed by your firm, with associated construction costs, dollar amounts, name of owner’s contact and phone number that deal specifically with landscaping and paving, and similar construction projects located in urban areas. In particular, cite projects performed for/within the City of Pittsburgh. Indicate the amount of your construction management fee for each of the projects.
3. Submit a fee, for construction services outlined on Exhibit “A.” Break down the fee for construction services in terms of “on-site” inspection costs and office supervisory support costs. Identify personnel that will be assigned to work “on-site” during construction of the project, and attach their resumes. Indicate which members of the proposed “on-site” personnel are familiar with the construction of small buildings, exposed aggregate and stamped concrete, grading, electrical distribution systems, and landscaping.
4. The fee component of the proposal shall identify the derivation of the fee by detailing the hours and personnel for each of the tasks. Include cost and manpower tables, rates, and markups used to calculate the summarized costs. **Include a master spreadsheet that includes the total level of effort (man-hours) for each major task.** The spreadsheet shall list employee name, job classification, projected hours, pay rates, overhead factors, direct costs, and profit in separate columns. Prime sub-consultants/subcontractors which make up your team shall be included in the master spreadsheet. The following shall be clearly identified in your fee proposal:

- The job classifications and direct hourly rates applied to the work tasks
 - The proposed overhead factor to be applied to the salary cost
 - The fee or percentage of profit proposed for the services
 - The reimbursable/direct costs projected, including sub-consultant fees
 - Assumptions made in estimating time and costs
5. Indicate work that you would anticipate subcontracting to others, and provide the names of the companies to be used, as well as the individuals that will be assigned to this project. Indicate the projected subcontract amounts, and include your sub-consultant fees and associated information in the master spreadsheet discussed in item 4 above.
 6. Discuss your current workload and your ability to staff this project.
 7. **Minority and Women-Owned Business Participation:**
Indicate how your firm would propose to incorporate minority and women-owned business (MWBE) participation into this project.

The URA is committed to providing equal employment opportunities to minorities and women and equal opportunities for business growth and development to minority and women entrepreneurs. To that end, the URA requires that all contractors and subcontractors performing work for the URA shall demonstrate a good faith effort to obtain the participation of minority and women business enterprises in the work to be performed for the URA and to employ minorities and women during performance of the work. It is the URA's objective to obtain minority and women's participation in its contracts with the goal being 18 percent (18%) of the contract amount expended for minority participation and 7 percent (7%) of the contract amount expended for women's participation. The URA promotes the full utilization of subcontracting activities to ensure a successful Minority and Women's Participation Plan.

The proposal package must include a Preliminary Minority and Women Business Enterprise Narrative detailing how the respondent plans to meet the URA's expressed MWBE participation goals for the project in the event the respondent is awarded the contract (the Plan Outline). The Plan Outline should be written on company letterhead and must include the following:

- A one- or two-page narrative summary detailing how the respondent plans to meet the 18 percent (18%) MBE goal and 7 percent (7%) WBE goal through the incorporation of MWBE firms on the project
- Potential scope areas where work can be subcontracted, along with any outreach efforts to ensure that MWBE firms are aware of the opportunity
- A list of any MWBE firms that will be included as a part of the team or invited to bid on work
- An expressed commitment to demonstrating a good faith effort to meet the URA's MWBE goals
- An expressed commitment to remain in communication with the URA's MWBE program officer in order to develop a finalized MWBE plan should the project be awarded.
- Respondent(s) will be asked to develop a final MWBE Plan upon the awarding of a URA contract.

Any questions about MWBE requirements should be directed to Diamonte Walker, MWBE program officer, at (412) 255-6610 or mwbe@ura.org.

CONSULTANT SELECTION CRITERIA

Selection for this assignment will be made on the basis of the following criteria:

- A. **Process.** The selection of any responsive firm(s) will be made by the Board of Directors of the URA after receiving the recommendations of the URA's staff and/or any applicable selection committee. Such selection will be based on the nature and quality of the responding firm's

responses to the Proposal Requirements described above. The URA reserves the right to request that any respondent meet with URA staff and/or a selection committee in a formal interview.

- B. Conflicts of Interest. Responsive firms and their team members must have no conflicts of interest with regard to any other work performed by the respondent for the URA, the City of Pittsburgh, or any related entity.
- C. RFQ Compliance. All responsive firms must adhere to the instructions contained in this RFP in preparing the submitted proposal.
- D. Waiver of Defects. The URA shall be the sole judge as to which respondent(s) best meet the selection criteria. The URA reserves the right to reject any or all qualifications submitted. The URA reserves the right to reject any proposal for failure to comply with the requirements of this RFP. The URA further reserves the right, in its sole discretion, to waive any such defect(s) or failure(s). Submission of a response indicates acceptance by the firm of the conditions contained in this RFP.
- E. Nondiscrimination. Each responsive firm agrees not to discriminate, whether in employment, contracting or otherwise, in violation of any federal, state, or local law and/or on the basis of sexual orientation, gender identity, and/or gender expression.

PROPOSAL SUBMISSION AND PROCESSING

Proposals must be submitted through Public Purchase.

Three (3) copies of the proposal must also be submitted. Hard copy proposals are to be submitted to:

Martin R. Kaminski
Director of Engineering and Construction
Urban Redevelopment Authority of Pittsburgh
200 Ross Street, 11th Floor
Pittsburgh, PA 15219

no later than noon, prevailing time on Wednesday, July 19, 2018. Proposals will not be returned.

The URA anticipates selecting a construction management/inspection firm in August 2018.

All questions regarding this RFP should be submitted, and will be answered, through the Public Purchase platform. Questions and requests for clarification shall be submitted no later than 5 p.m. on July 9, 2018. Both the question and corresponding answer will be visible and available to anyone registered on the site who reviews this opportunity. Please see Exhibit "B" for instructions on how to register on publicpurchase.com.

Exhibit A

CONSTRUCTION INSPECTION SERVICES

- Administer the pre-construction meeting; record and distribute meeting minutes.
- Review and comment on project schedules from the URA's contractor. Also review schedules from on-site contractors for coordination of all construction activities. Work to ensure the contractor stays on schedule.
- Determine the adequacy of the contractor's personnel and equipment to meet the project schedule.
- Take pre-construction job site photographs and construction progress photographs. Maintain a photographic log and disseminate to the URA's construction manager.
- Provide a resident inspector to assure that all work is performed in accordance with the contract documents. The inspector must also prepare daily inspection reports, maintain field records and daily logs, calculate quantities, record as-built information, and perform project close-out duties.
- Provide office support and oversight of field activities and attend bi-weekly progress meetings. Record, prepare and disseminate minutes of the meetings.
- Provide supplementary inspection during peak activity periods as required.
- Coordinate the construction activities and schedules with the on-site contractors.
- Implement and manage an effective request for information system (RFI) and shop drawing reviews among the contractor, URA, and design engineer.
- Establish and maintain lines of communication and procedures for coordination among the URA, engineer, contractors, inspection personnel and other contractors working adjacent to the site.
- Identify potential problems and make recommendations for solutions.
- Review contractor's claims and make recommendations to the URA.
- Prepare, and review with the contractor, invoice and change order quantities. Prepare the invoices and change orders in URA format. Approve invoices and change orders for payment to the contractor.
- Maintain logs for the submission of shop drawings, material certifications and other required contractor submittals. Distribute submittals for approval. The project designer will review and approve submittals.
- Perform comprehensive reviews of the contractor's schedule and updates, and report the results to the URA's project manager.
- Generally represent the owner to assure a quality product at a fair and equitable price.
- Determine substantial and final completion of the work and prepare lists of incomplete or unsatisfactory items, and corresponding schedules for their completion.

- Participate with the URA in the pre-final and final inspections, including preparation and distribution of punchlists.
- Provide play equipment audit inspection by a third party that is neither the manufacturer or the installer.
- Determine final completion; obtain and transmit to the URA all required guarantees, affidavits, releases, bonds, record drawings, etc.
- Prepare as-built drawings on ACAD drawings provided by the designer for URA records.
- Prepare the final as-built survey and include the as-built survey information on the redline documents.

END OF SERVICES LIST

Exhibit B

Instructions for Registering on Public Purchase

The Urban Redevelopment Authority is now using Public Purchase, a web based eProcurement service, for the automatic notification and transmittal of bid solicitations at no charge to vendors. Effective March 1, 2018, all parties interested in bidding on opportunities at the URA must register with this new system. Requests for bid opportunities will no longer be distributed via the URA's Developers' List.

The two-step process requires registration with the Public Purchase web based eProcurement service and then a second step to register with the URA. If you are already registered with Public Purchase, then proceed directly to step 2.

1. Register with Public Purchase:

Use the link below to begin the registration process. It can take up to 24 hours for your account to become active. You will receive an email from notices@publicpurchase.com letting you know that your account has been activated. Be sure to add this email address to your contacts to avoid bid notification emails from going into your junk mail folder.

<https://www.publicpurchase.com/gems/register/vendor/register>

2. Register with the Urban Redevelopment Authority:

- A. Once you have received your activation email from Public Purchase log into www.publicpurchase.com and accept the terms and conditions of use.
- B. Click on the "Tools" tab followed by the "Agencies" tab
- C. This will take you to the agency search page
 - In the agency name box, type in Urban Redevelopment
 - Leave the "new agency since" box blank
 - Make sure Registration Status says "ALL"
 - Click on "search" - this will bring up the URA
 - To the far right, you will see "View" and "Register"
 - Click on the "Register" link to complete the vendor registration with the URA

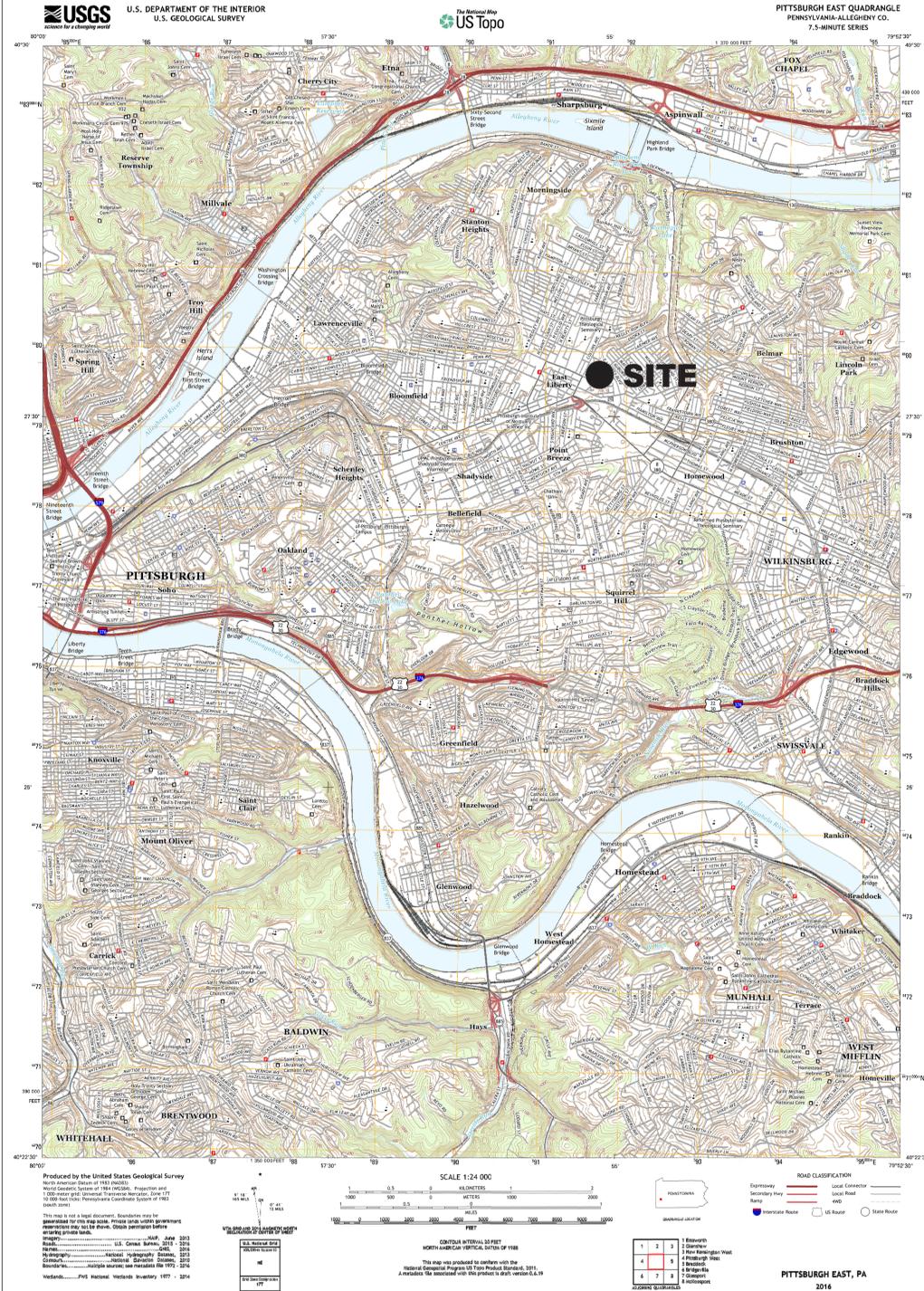
Remember to select NAICS Commodity Codes that relate to your business so you can receive email notifications of future bid opportunities.

It is important that this second part of the registration is complete or you will not receive notifications of upcoming opportunities from the URA. It is your responsibility to keep the information up to date, particularly the contacts and email addresses. Please email Diamonte Walker at dwalker@ura.org if you encounter an issue setting up your registration.

For Additional Assistance

If you need additional assistance with this process please contact Public Purchase at support@publicpurchase.com or use the Public Purchase Live Chat during business hours. It can be found in the upper left corner of the web site.

THE URBAN REDEVELOPMENT AUTHORITY OF PITTSBURGH EAST LIBERTY - SITE PREPARATION CONTRACT NUMBER 4 LIBERTY GREEN / RIVER ROOTS



LIBERTY GREEN SITE MAP 1"=2000'

CITY OF PITTSBURGH

APPROVAL	DATE
LANDSCAPE ARCHITECT	_____
PARKS SUPERINTENDENT	_____
CITY FORESTER	_____
DIRECTOR PUBLIC WORKS	_____

LIBERTY GREEN "ZONE A" SHEET INDEX

LANDSCAPE ARCHITECT

WALLACE ROBERTS & TODD, LLC
1700 MARKET STREET, SUITE 2800
PHILADELPHIA, PA 19103
215.732.5215
WRTDESIGN.COM

CIVIL / MEP / STRUCTURAL ENGINEER

GAI CONSULTANTS
385 EAST WATERFRONT DRIVE
HOMESTEAD, PA 15120
412.476.2000

SURVEYOR

SCI-TEK
655 RODI ROAD, SUITE 302
PITTSBURGH, PA 15235
412.371.4460

SHEET #	DRAWING #	DRAWING TITLE
1	L-001	COVER SHEET
2	L-100	EXISTING CONDITIONS
3	L-105	DEMOLITION PLAN
4	L-109	SITE PLAN
5	L-110	LAYOUT PLAN
6	L-111	LAYOUT PLAN - CORNER ENLARGEMENTS
7	L-112	LAYOUT PLAN - STORMWATER BASIN ENLARGEMENT
8	L-113	LAYOUT PLAN - PLAY AREA ENLARGEMENT
9	L-114	LAYOUT PLAN - LIGHT POLES AND CONCRETE JOINTING
10	L-115	MATERIALS PLAN
11	L-116	SOILS AND IRRIGATION PLAN
12	L-124	PLANTING PLAN - SCHEMATIC OVERLAY - BASE BID
13	L-125	PLANTING PLAN - CANOPY AND UNDERSTORY TREES - BASE BID
14	L-126	PLANTING PLAN - SHRUBS AND GROUNDCOVER - BASE BID
15	L-127	PLANTING PLAN - SHRUBS, GRASSES, AND GROUNDCOVER - ADD ALTERNATE A
17	L-300	SITE SECTIONS
18	L-400	PLAY EQUIPMENT ENLARGEMENT
19	L-401	PLAY SURFACE ENLARGEMENT
20	L-402	PLAY EQUIPMENT
21	L-403	PLAY EQUIPMENT
22	L-500	SITE DETAILS
23	L-501	SITE DETAILS
24	L-502	SITE DETAILS
25	L-503	SITE DETAILS
26	L-505	PLANTING DETAILS
27	C-301	GRADING PLAN
28	C-302	ENLARGED GRADING PLAN
29	C-400	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
30	C-401	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
31	C-402	POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS
32	C-403	POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS
33	C-404	POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS
34	C-405	POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS
35	C-406	HYDRAULIC PROFILE
36	C-407	STORM SEWER PROFILES
37	C-701	UTILITY PLAN
38	C-702	UTILITY DETAILS
39	C-703	UTILITY DETAILS
40	C-901	EROSION AND SEDIMENTATION CONTROL PLAN
41	C-902	EROSION AND SEDIMENTATION CONTROL DETAILS
42	C-903	EROSION AND SEDIMENTATION CONTROL DETAILS
43	C-904	EROSION AND SEDIMENTATION CONTROL NARRATIVE
44	E-100	GENERAL PROJECT NOTES, LEGEND, AND FIXTURE SCHEDULE
45	E-101	LIGHTING PLAN
46	E-102	ELECTRICAL DETAILS
47	E-103	LIGHTPOLE DETAILS

RIVER ROOTS "ZONE A PRIME" SHEET INDEX

LANDSCAPE ARCHITECT

EVOLVE ENVIRONMENT:ARCHITECTURE
6020 BROAD STREET
PITTSBURGH, PA 15206

G.1 General Information and General Site Plan

- L.1 Existing Conditions & Demo Plan
- L.2 Site Plan
- L.3 Site Location Plan
- L.4 Site Planting Plan Base
- L.5 Site Planting Plan Alt.
- L.6 Hydrology Plan

L.7 Hydrology Details

- L.8 Landscape Sections
- L.9 Landscape Details
- L.10 Landscape Details
- L.11 Landscape Details
- L.12 Art Element Details
- L.13 Landscape Details

VICINITY MAP

SOURCE: USGS TOPO MAP

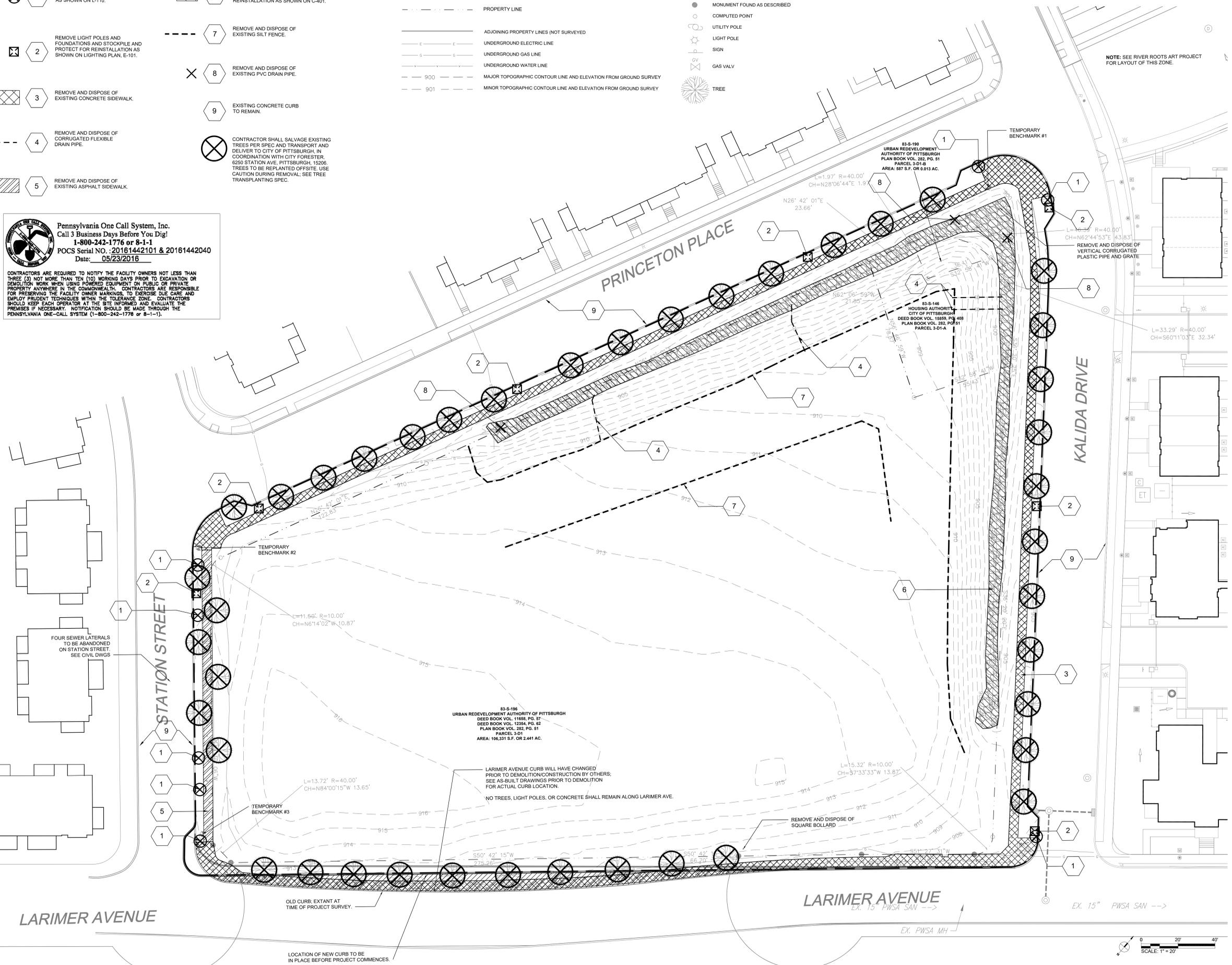
- 1 REMOVE TRAFFIC AND PARKING SIGNS AND FOUNDATIONS AND STOCKPILE AND PROTECT FOR REINSTALLATION AS SHOWN ON L-110.
- 2 REMOVE LIGHT POLES AND FOUNDATIONS AND STOCKPILE AND PROTECT FOR REINSTALLATION AS SHOWN ON LIGHTING PLAN, E-101.
- 3 REMOVE AND DISPOSE OF EXISTING CONCRETE SIDEWALK.
- 4 REMOVE AND DISPOSE OF CORRUGATED FLEXIBLE DRAIN PIPE.
- 5 REMOVE AND DISPOSE OF EXISTING ASPHALT SIDEWALK.
- 6 REMOVE AND STOCKPILE EXISTING RIP-RAP. PROTECT FOR REINSTALLATION AS SHOWN ON C-401.
- 7 REMOVE AND DISPOSE OF EXISTING SILT FENCE.
- 8 REMOVE AND DISPOSE OF EXISTING PVC DRAIN PIPE.
- 9 EXISTING CONCRETE CURB TO REMAIN.

- LIBERTY GREEN PROJECT LIMIT LINE
- PROPERTY LINE
- ADJOINING PROPERTY LINES (NOT SURVEYED)
- UNDERGROUND ELECTRIC LINE
- UNDERGROUND GAS LINE
- UNDERGROUND WATER LINE
- MAJOR TOPOGRAPHIC CONTOUR LINE AND ELEVATION FROM GROUND SURVEY
- MINOR TOPOGRAPHIC CONTOUR LINE AND ELEVATION FROM GROUND SURVEY

- TEMPORARY BENCHMARK
- MONUMENT FOUND AS DESCRIBED
- COMPUTED POINT
- UTILITY POLE
- LIGHT POLE
- SIGN
- GAS VALV
- TREE

Pennsylvania One Call System, Inc.
 Call 3 Business Days Before You Dig!
1-800-242-1776 or 8-1-1
 POCs Serial NO. : 20161442101 & 20161442040
 Date: 05/23/2016

CONTRACTORS ARE REQUIRED TO NOTIFY THE FACILITY OWNERS NOT LESS THAN THREE (3) NOT MORE THAN TEN (10) WORKING DAYS PRIOR TO EXCAVATION OR DEMOLITION WORK WHEN USING POWERED EQUIPMENT ON PUBLIC OR PRIVATE PROPERTY ANYWHERE IN THE COMMONWEALTH. CONTRACTORS ARE RESPONSIBLE FOR PRESERVING THE FACILITY OWNER MARKINGS, TO EXERCISE DUE CARE AND EMPLOY PRUDENT TECHNIQUES WITHIN THE TOLERANCE ZONE. CONTRACTORS SHOULD KEEP EACH OPERATOR AT THE SITE INFORMED AND EVALUATE THE PREMISES IF NECESSARY. NOTIFICATION SHOULD BE MADE THROUGH THE PENNSYLVANIA ONE-CALL SYSTEM (1-800-242-1776 or 8-1-1).



LIBERTY GREEN
 PITTSBURGH, PA

URBAN REDEVELOPMENT AUTHORITY OF PITTSBURGH
 200 ROSS ST. #13
 PITTSBURGH, PA 15219

LANDSCAPE ARCHITECT

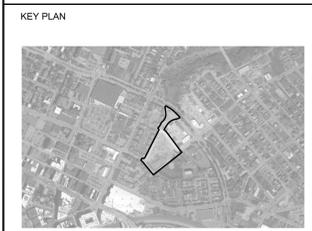
WRT

WALLACE ROBERTS & TODD, LLC
 1700 MARKET STREET, SUITE 2800
 PHILADELPHIA, PA 19103
 215.732.5215
 WRDESIGN.COM

CONSULTANTS

CIVIL / MEP / STRUCTURAL ENGINEER
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 385 EAST WATERFRONT DRIVE
 HOMESTEAD, PA 15120
 412.476.2900

SURVEYOR
SCI-TEK
 655 RUDI ROAD, SUITE 303
 PITTSBURGH, PA 15235
 412.371.4460



ISSUED FOR PROCUREMENT ON _____

REVISIONS		
Rev. No.	Date	Description
1.	03/09/2017	100% SCHEMATIC DESIGN
2.	08/03/2017	100% DESIGN DEVELOPMENT
3.	10/20/2017	60% CONSTRUCTION DOCUMENTS
4.	01/26/2018	90% CONSTRUCTION DOCUMENTS
5.	05/17/2018	100% CONSTRUCTION DOCUMENTS

SEALS

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional landscape architect under the laws of the State of Pennsylvania.

License No. **LA003040**
 Expiration Date: **05/31/2019**

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JOB #	7758	DRAWN BY	AD
DATE	05/17/18	CHECKED BY	CN
SCALE	AS SHOWN		

DRAWING TITLE

DEMOLITION PLAN

DRAWING #

L-105

LIBERTY GREEN
PITTSBURGH, PA

URBAN REDEVELOPMENT
AUTHORITY OF PITTSBURGH
200 ROSS ST. #13
PITTSBURGH, PA 15219

LANDSCAPE ARCHITECT



WALLACE ROBERTS & TODD, LLC
1700 MARKET STREET, SUITE 2800
PHILADELPHIA, PA 19103
215.732.5215
WRDESIGN.COM

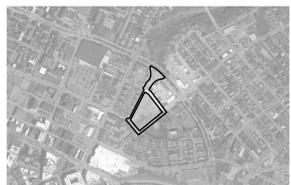
CONSULTANTS

CIVIL / MEP / STRUCTURAL ENGINEER
GAI CONSULTANTS
385 EAST WATERFRONT DRIVE
HOMESTEAD, PA 15120
412-476-2000

SURVEYOR

SCI-TEK
655 RUDI ROAD, SUITE 303
PITTSBURGH, PA 15235
412-371-4460

KEY PLAN



ISSUED FOR PROCUREMENT ON _____

REVISIONS		
Rev. No.	Date	Description
1.	03/09/2017	100% SCHEMATIC DESIGN
2.	08/03/2017	100% DESIGN DEVELOPMENT
3.	10/20/2017	60% CONSTRUCTION DOCUMENTS
4.	01/26/2018	90% CONSTRUCTION DOCUMENTS
5.	05/17/2018	100% CONSTRUCTION DOCUMENTS

SEALS

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional landscape architect under the laws of the State of Pennsylvania.
License No. **LA003040**
Expiration Date **05/31/2019**



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JOB #	7758	DRAWN BY	AD
DATE	05/17/18	CHECKED BY	CN
SCALE	AS SHOWN		

DRAWING TITLE
**PLANTING PLAN -
SCHEMATIC OVERLAY -
BASE BID**

DRAWING #

L-124



NOTE: SEE RIVER ROOTS ART PROJECT FOR LAYOUT OF THIS ZONE.



- LIBERTY GREEN PROJECT LIMIT LINE
- PROPERTY LINE
- PLAYGROUND FENCE
- WOOD GUARDRAIL

- CANOPY TREE
3" - 3 1/2" CAL
- EVERGREEN TREE
3" - 3 1/2" CAL
- ORNAMENTAL / FLOWERING TREE
2" - 2 1/2" CAL
- LARGE SHRUB
- SMALL SHRUB
- LAWN: SEE SPECIFICATIONS.
- SEED MIX: SEE SPECIFICATIONS.
- GROUND COVER

LARIMER AVENUE

LARIMER AVENUE

STATION STREET

PRINCETON PLACE

KALIDA DRIVE

EXISTING CONDITIONS NOTES:

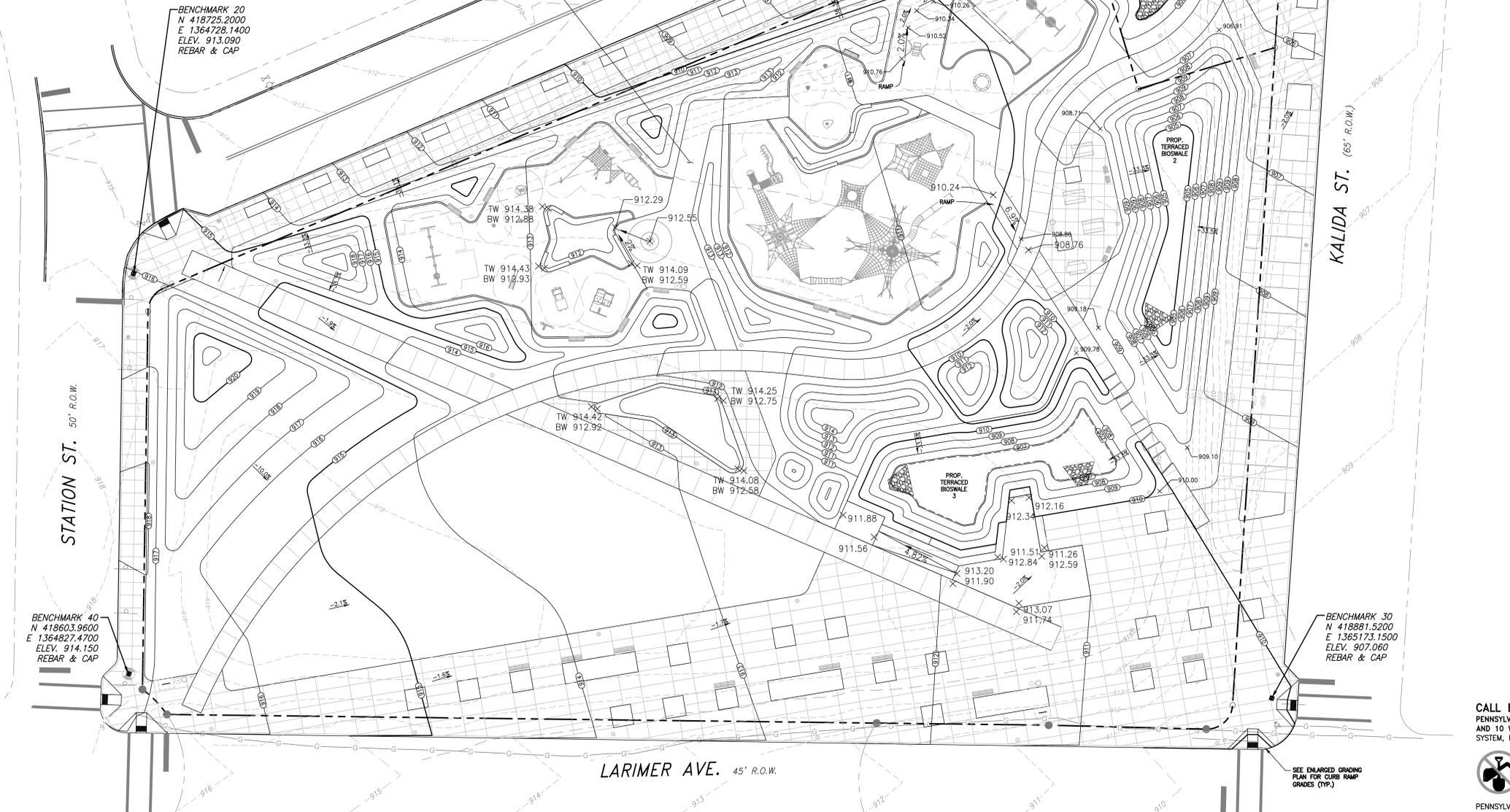
- UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES HAVE BEEN PLOTTED BY GAI CONSULTANTS FROM A COMBINATION OF OBSERVED EVIDENCE, FIELD SURVEYS, AND AVAILABLE RECORD PLANS. LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY COMPLETELY AND RELIABLY DEPICTED, THEREFORE THEIR LOCATIONS AND SIZES MUST BE CONSIDERED APPROXIMATE. THERE MAY BE OTHER UNDERGROUND FACILITIES WHOSE EXISTENCE IS PRESENTLY UNKNOWN. GAI CONSULTANTS PA ONE CALL SERIAL NUMBER 20170181145 AND 20170181146.
- THE TOPOGRAPHY FOR LARIMER ZONE A, LARIMER ZONE A PRIME, AND PRINCETON STREET WAS BASED ON A SURVEY BY GAI CONSULTANTS. FIELD WORK WAS COMPLETED MARCH 2017. THE VERTICAL DATUM IS THE CITY OF PITTSBURGH VERTICAL DATUM.
- TOPOGRAPHY ON LARIMER AVENUE IS FROM 'LARIMER/EAST LIBERTY PHASE 2 PROJECT PLANS DATED 2/2/2018 PREPARED BY AWK CONSULTING ENGINEERS AND SURVEYORS. 2.56 FEET WAS ADDED TO ALL ELEVATIONS TO BRING THEM TO THE CITY OF PITTSBURGH VERTICAL DATUM. THE CONVERSION DELTA TO THE CITY OF PITTSBURGH VERTICAL DATUM WAS PROVIDED BY GATEWAY ENGINEERS IN AN EMAIL DATED 11/7/2017. LARIMER AVENUE IMPROVEMENTS ARE ASSUMED TO BE COMPLETED BEFORE CONSTRUCTION OF THIS PROJECT.
- TOPOGRAPHY ON STATION STREET SOUTH OF PRINCETON STREET IS FROM DESIGN PLANS PROVIDED BY LA QUOTRA BONCI. TOPOGRAPHY SHOULD BE CONSIDERED APPROXIMATE.
- TOPOGRAPHY ON KALIDA STREET SOUTH OF PRINCETON STREET IS FROM DESIGN PLANS PROVIDED BY LA QUOTRA BONCI. TOPOGRAPHY SHOULD BE CONSIDERED APPROXIMATE.

GRADING & DRAINAGE NOTES:

- PROTECT ALL WATER METERS, WATER VALVE BOXES, FIRE HYDRANTS, GAS CURB BOXES, MANHOLES, UTILITY POLES, AND OTHER UTILITY RELATED ELEMENTS WITHIN THE EXISTING AREA OF CONSTRUCTION. RAISE OR LOWER UTILITY ELEMENTS TO ACCOMMODATE THE NEW FINISHED GRADES.
- PROTECT EXISTING STORM SEWER INLETS & MANHOLES. REMOVE ONLY PORTIONS OF THE INLET WALLS NECESSARY FOR THE PROPOSED MODIFICATIONS. SAWCUT TO AVOID DAMAGE TO REMAINING INLET STRUCTURE. SAVE EXISTING MANHOLE COVERS AND FRAMES FOR REUSE. PROTECT EXISTING STORM DRAIN PIPES.
- CONTRACTOR IS RESPONSIBLE FOR LOCATION AND COORDINATION OF ALL BELOW & ABOVE GROUND UTILITIES.
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND CONDITIONS. REPORT ANY CONCEALED DETERIORATED MATERIALS OR CONDITIONS THAT AFFECT NEW WORK AS INDICATED. DURING DEMOLITION WORK, DO NOT REMOVE MATERIALS, FINISHES, OR ARCHITECTURAL FEATURES THAT APPEAR TO BE ORIGINAL WITHOUT FIRST CONSULTING THE PROJECT LANDSCAPE ARCHITECT.
- CONTRACTOR TO MAINTAIN POSITIVE DRAINAGE TO ALL DRAINAGE STRUCTURES.
- FIELD VERIFY ALL ELEVATIONS FOR POSITIVE DRAINAGE.
- CONTRACTOR TO CAREFULLY REMOVE EXISTING TOPSOIL ON THE SITE ABOVE THE WITNESS BARRIER, AND STOCKPILE AS SHOWN ON THE EROSION & SEDIMENT CONTROL PLAN FOR REPLACEMENT ON THE SITE IN PROPOSED GRASSY AND VEGETATED AREAS.
- IF THE EXISTING WITNESS BARRIER IS ENCOUNTERED, CONTRACTOR SHALL MAINTAIN OR INSTALL AN 18-INCH SOIL CAP ABOVE THE WITNESS BARRIER. IF THE EXISTING WITNESS BARRIER IS DAMAGED DURING CONSTRUCTION ACTIVITIES, CONTRACTOR WILL REPAIR THE WITNESS BARRIER WITH LIKE MATERIALS PRIOR TO INSTALLING THE 18-INCH SOIL CAP. WHERE A WITNESS BARRIER IS NOT ENCOUNTERED, CONTRACTOR WILL MAINTAIN OR INSTALL A MINIMUM 18-INCH SOIL CAP ABOVE THE CURRENT CURB/SIDEWALK ELEVATION OF THE SURROUNDING STREETS, WITH ACCOMMODATING TAPER TO THE SIDEWALK/CURB.
- GRADING SHOWN ON THE PLAN REPRESENTS SURFACE ELEVATION AT FINAL GRADE.

**EAST LIBERTY SITE PREPARATION
CONTRACT ZONE A PRIME; RIVER
ROOTS (BY OTHERS); SEE RIVER
ROOTS DRAWINGS FOR INFORMATION
ABOUT WORK IN THIS AREA**

**EAST LIBERTY SITE PREPARATION
CONTRACT ZONE A; LIBERTY GREEN**

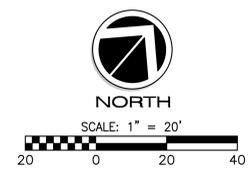


GRADING & DRAINAGE LEGEND:

PROP. CONTOUR MAJOR	685
PROP. CONTOUR MINOR	684
PROP. SPOT ELEVATION	X 672.8
EX. SPOT ELEVATION	X 672.8
PROP. SEDIMENT BASIN & CHANNEL DRAINAGE AREAS	[Symbol]
PROP. LIMIT OF DISTURBANCE	LOD
PROP. PERMIT LIMIT	[Symbol]
EX. SOIL LIMIT	[Symbol]
EX. SOIL LABEL	DoB
EX. CONCRETE PAVEMENT	[Symbol]
PROP. SIDEWALK AND MONOLITHIC CURB	[Symbol]

LEGEND:

EX. LIGHT POLE	[Symbol]
EX. UTILITY POLE	[Symbol]
EX. STORM SEWER INLET	[Symbol]
EX. UNDERGROUND ELEC.	[Symbol]
EX. WATER LINE	[Symbol]
EX. GAS LINE	[Symbol]
EX. PROPERTY LINE	[Symbol]
EX. STORM SEWER & MH	[Symbol]
EX. SANITARY SEWER & MH	[Symbol]
EX. FIRE HYDRANT	[Symbol]
EX. RIGHT OF WAY LINE	[Symbol]
PROP. PROPERTY LINE	[Symbol]
PROP. ELEC.	[Symbol]
PROP. 2" LIGHTING CONDUIT	[Symbol]
PROP. LIGHT POLES	[Symbol]
PROP. GAS	[Symbol]
PROP. SANITARY SEWER LINE, MH & STRUCTURE ID LABEL	[Symbol]
PROP. STORM INLET	[Symbol]
PROP. STORM SEWER	[Symbol]
PROP. STORM ENDWALL	[Symbol]
PROP. UNDERDRAIN	[Symbol]
PROP. WATER LINE	[Symbol]
PROP. CONCRETE BLOCKING	[Symbol]
PROP. 90° BEND	[Symbol]
PROP. WATER VALVE	[Symbol]
PROP. FIRE HYDRANT	[Symbol]
PROP. TEE	[Symbol]
EX. RR/APRON	[Symbol]

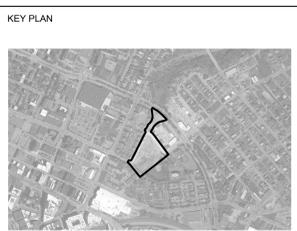


LIBERTY GREEN
PITTSBURGH, PA

URBAN REDEVELOPMENT
AUTHORITY OF PITTSBURGH
200 ROSS ST. #13
PITTSBURGH, PA 15219

LANDSCAPE ARCHITECT
WRT
WALLACE ROBERTS & TODD, LLC
1700 MARKET STREET, SUITE 2800
PHILADELPHIA, PA 19103
WRDESIGN.COM

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CIVIL / MEP / STRUCTURAL ENGINEER
GAI CONSULTANTS
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HOMESTEAD, PA 15120
412-476-2000
SURVEYOR
SCI-TEK
655 RODI ROAD, SUITE 303
PITTSBURGH, PA 15235
412-371-4460



ISSUED FOR PROCUREMENT ON

Rev. No.	Date	REVISIONS Description
1.	03/09/2017	100% SCHEMATIC DESIGN
2.	08/03/2017	100% DESIGN DEVELOPMENT
3.	10/20/2017	60% CONSTRUCTION DOCUMENTS
3.	01/26/2018	90% CONSTRUCTION DOCUMENTS
4.	04/30/2018	100% CONSTRUCTION DOCUMENTS

SEALS
Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Pennsylvania.
License No. PE079084
Expiration Date 9/30/2019

JOHN # 7758 DRAWN BY WORKMOL

DATE	ISSUE DATE	CHECKED BY	SCHOORT
SCALE	1"=30'		

DRAWING TITLE
GRADING PLAN

DRAWING #
C301

CALL BEFORE YOU DIG!
PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE - STOP CALL PENNSYLVANIA ONE CALL SYSTEM, INC.

1-800-242-1776

PENNSYLVANIA ACT 187 (1996) REQUIRES NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH, CALL PENNSYLVANIA ONE CALL SYSTEM, INC. AT 1-800-242-1776 BEFORE ANY DISTURBANCE. PENNSYLVANIA ONE CALL SERIAL NUMBERS FOR INFORMATION SHOWN ON THIS DRAWING IS 20170181145 AND 20170181146.

Standard Materials

Body & Cover: Ductile Iron ASTM A536
 Coating: NSF Listed Fusion Bonded Epoxy Lined and Coated
 Trim: 316 Stainless Steel (1-1/4" - 8")
 ASTM B62 Bronze (10" - 24")
 (Stainless Steel Optional)
 Elastomers: Buna-N (standard)
 EPDM (optional)
 Viton (optional)
 Stem, Nut & Spring: Stainless Steel

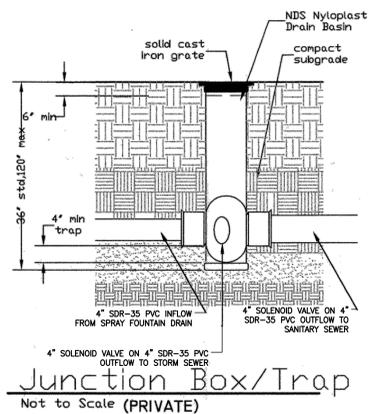
Dimensions:

VALVE SIZE	GLOBE THRD	GLOBE 150#	GLOBE 300#	COVER TO CENTER	ANGLE THRD	ANGLE 150#	ANGLE 300#	ANGLE THRD	ANGLE 150#	ANGLE 300#	PORT SIZE	PORT SIZE	PORT SIZE	SHIPPING WEIGHTS*
1-1/4	7-1/4	8-1/2	9	3-1/2	3-1/4	3-1/4	3-1/4	1-7/8	1-1/4	1-1/4	1/2	1/2	1/2	15
1-1/2	7-3/4	8-1/2	9	3-1/2	3-1/4	3-1/4	3-1/4	1-7/8	1-1/4	1-1/4	1/2	1/2	1/2	16
2	9-3/8	9-3/8	10	4-15/16	4	4	4	1-7/8	1-1/4	1-1/4	1/2	1/2	1/2	35
2-1/2	11	11	11-5/8	7	5-1/2	5-1/2	5-1/2	2-1/8	1-1/2	1-1/2	1/2	1/2	3/8	65
3	10-1/2	12	13-1/4	7	5-1/4	5-3/4	5-1/4	2-1/8	1-1/2	1-1/2	1/2	1/2	3/8	95
4	15	15-5/8	16-1/2	8-5/8	6-3/4	7-1/8	6-3/4	2-1/8	1-1/2	1-1/2	1/2	1/2	3/8	190
6	20	21	21-1/4	11-3/4	8-1/2	8-7/8	8-1/2	2-1/8	1-1/2	1-1/2	1/2	1/2	3/8	320
8	25-3/8	26-3/8	28-3/4	15-3/4	11	11-1/2	11	2-1/8	1-1/2	1-1/2	1/2	1/2	3/8	650
10	29-3/4	31-1/8	33-3/4	19-3/4	14-7/8	15-5/8	14-7/8	2-1/8	1-1/2	1-1/2	1/2	1/2	3/8	940
12	34	35-1/2	38-5/8	20-5/8	17	17-3/4	17	2-1/8	1-1/2	1-1/2	1/2	1/2	3/8	1500
14	39	40-1/2	44-1/4	22-1/4	19	19-3/4	19	2-1/8	1-1/2	1-1/2	1/2	1/2	3/8	1675
16	41-3/8	43-1/2	48-1/4	24-1/4	21	21-3/4	21	2-1/8	1-1/2	1-1/2	1/2	1/2	3/8	3100

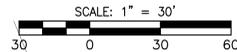
*Estimated in lbs.

Solenoid Valve (PRIVATE)

SCALE: NTS



EAST LIBERTY SITE PREPARATION CONTRACT ZONE A PRIME; RIVER ROOTS (BY OTHERS); SEE RIVER ROOTS DRAWINGS FOR WORK IN THIS AREA



LIBERTY GREEN
 PITTSBURGH, PA

URBAN REDEVELOPMENT AUTHORITY OF PITTSBURGH
 200 ROSS ST. #13
 PITTSBURGH, PA 15219

LANDSCAPE ARCHITECT



WALLACE ROBERTS & TODD, LLC
 1700 MARKET STREET, SUITE 215.732.2515
 2800 PHILADELPHIA, PA 19103
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CONSULTANTS

CIVIL / MEP / STRUCTURAL ENGINEER

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 412-476-2900

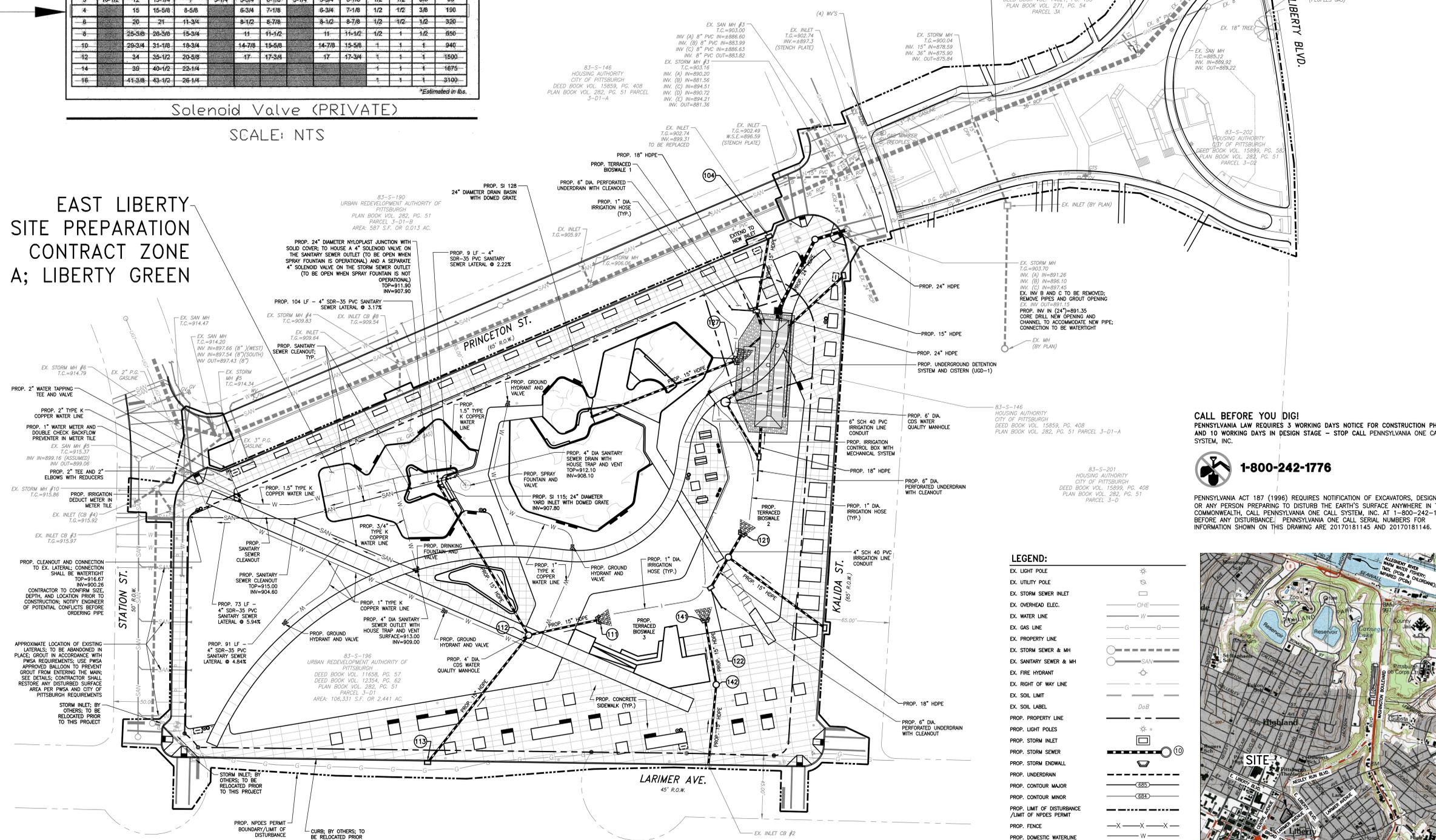
SURVEYOR

SCI-TEK
 655 RODI ROAD, SUITE 303
 PITTSBURGH, PA 15235
 412-371-4460

KEY PLAN



EAST LIBERTY SITE PREPARATION CONTRACT ZONE A; LIBERTY GREEN



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 PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE - STOP CALL PENNSYLVANIA ONE CALL SYSTEM, INC.

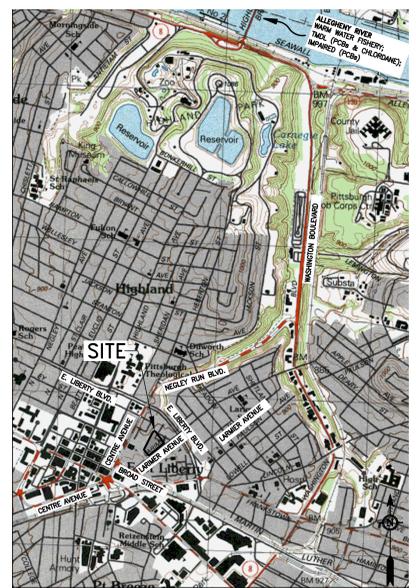


1-800-242-1776

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LEGEND:

- EX. LIGHT POLE
- EX. UTILITY POLE
- EX. STORM SEWER INLET
- EX. OVERHEAD ELEC.
- EX. WATER LINE
- EX. GAS LINE
- EX. PROPERTY LINE
- EX. STORM SEWER & MH
- EX. SANITARY SEWER & MH
- EX. FIRE HYDRANT
- EX. RIGHT OF WAY LINE
- EX. SOIL LIMIT
- EX. SOIL LABEL
- PROP. PROPERTY LINE
- PROP. LIGHT POLES
- PROP. STORM INLET
- PROP. STORM SEWER
- PROP. STORM ENDWALL
- PROP. UNDERDRAIN
- PROP. CONTOUR MAJOR
- PROP. CONTOUR MINOR
- PROP. LIMIT OF DISTURBANCE /LIMIT OF NPDES PERMIT
- PROP. FENCE
- PROP. DOMESTIC WATERLINE
- PROP. IRRIGATION LINE
- PROP. SANITARY SEWER OUTLET



ISSUED FOR PROCUREMENT ON _____

Rev. No.	Date	REVISIONS Description
1.	03/09/2017	100% SCHEMATIC DESIGN
2.	08/03/2017	100% DESIGN DEVELOPMENT
3.	10/20/2017	60% CONSTRUCTION DOCUMENTS
3.	01/26/2017	90% CONSTRUCTION DOCUMENTS
4.	04/30/2018	100% CONSTRUCTION DOCUMENTS

SEALS
 Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Pennsylvania.
 License No. PE079064
 Expiration Date 9/30/2019

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JOB #	7758	DRAWN BY	MURGIDM
DATE	SEE ISSUE DATE	CHECKED BY	FELLOJA
SCALE	1"=30'		

DRAWING TITLE

UTILITY PLAN

DRAWING #

C701

River Roots

Zone A-Prime
of Liberty Green Park,
Kalida Drive
Pittsburgh, PA 15206

REVIEW SET

NOT FOR
CONSTRUCTION



Project Team

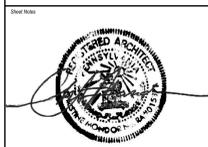
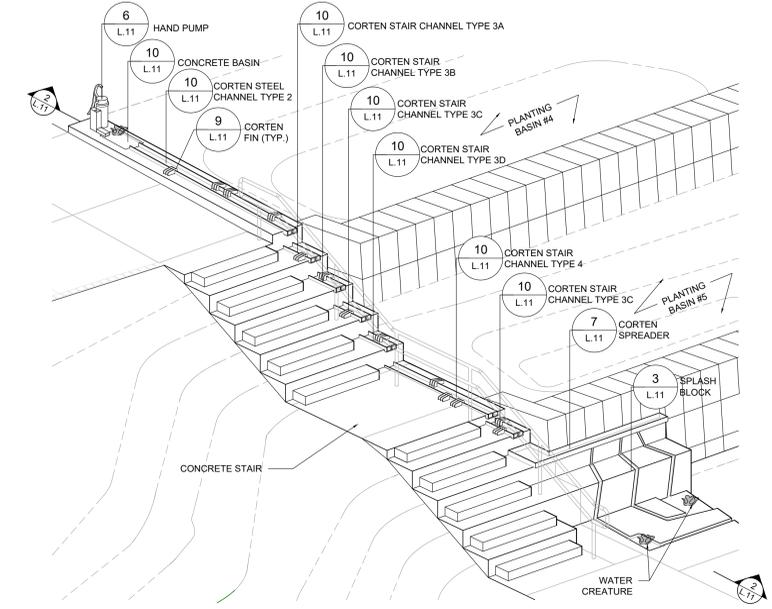
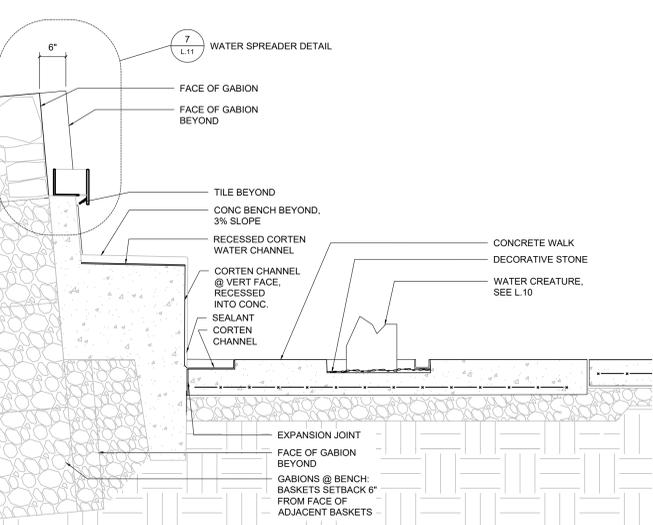
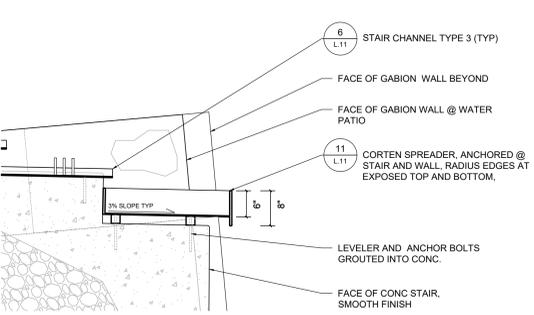
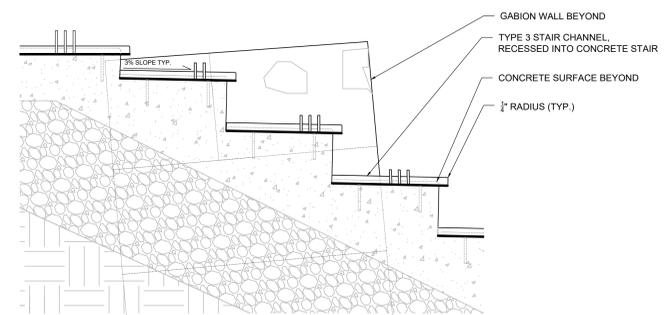
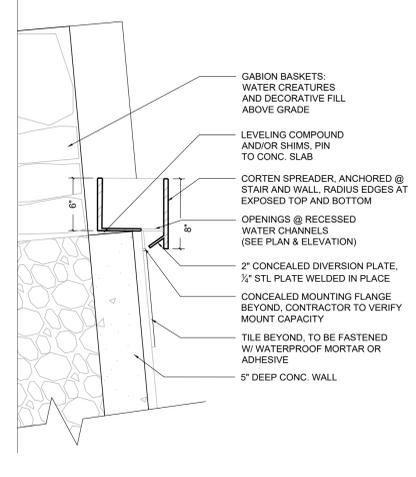
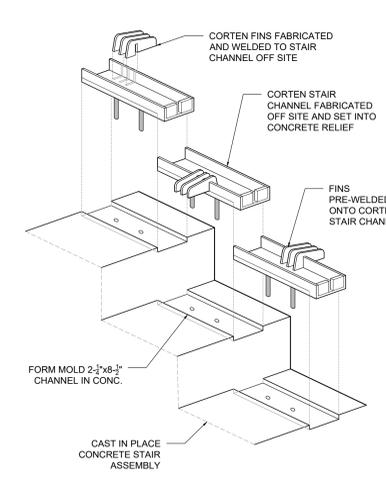
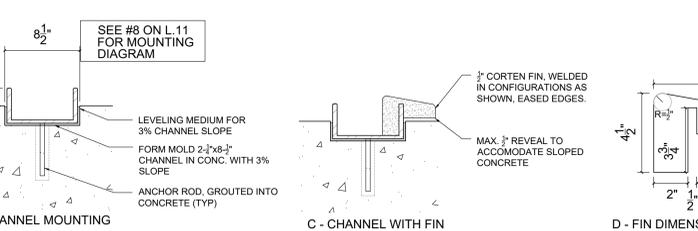
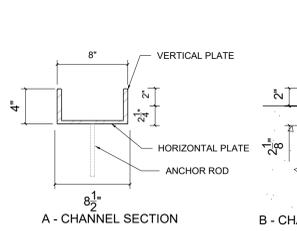
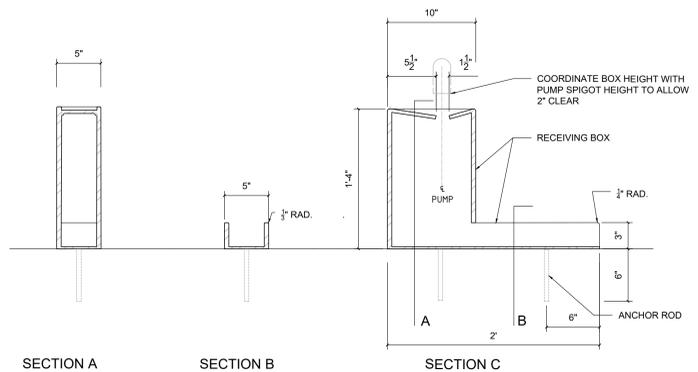
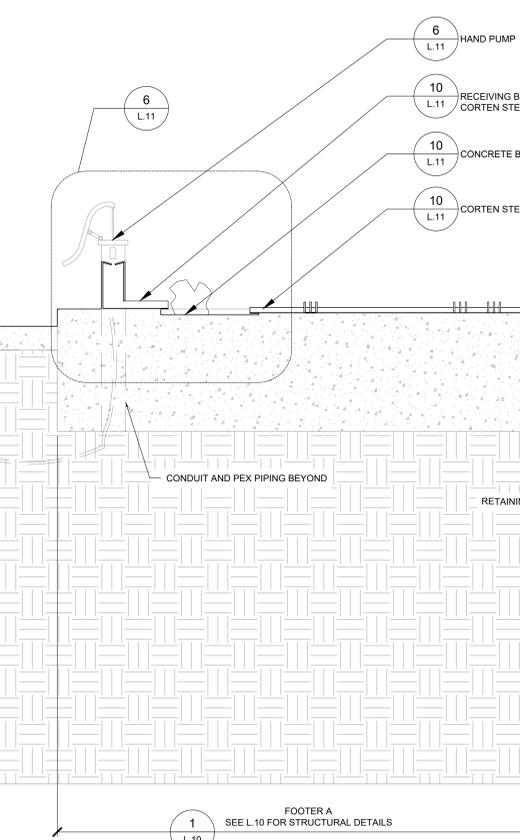
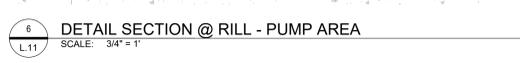
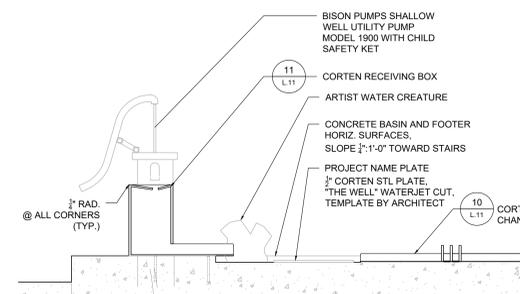
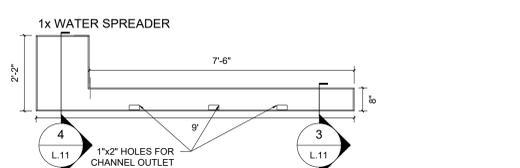
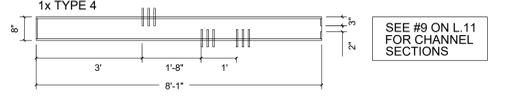
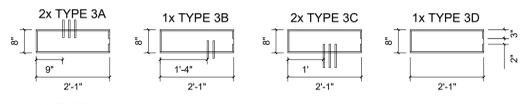
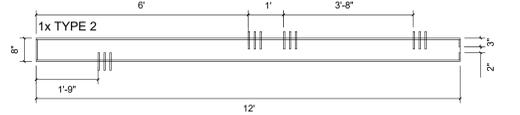
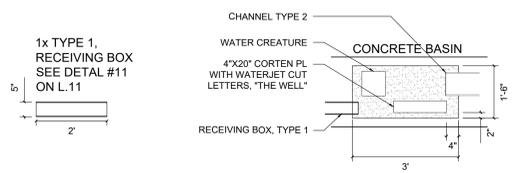
ART PLACE PROJECT MANAGER
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Contact: Jvette Mongalo

ARCHITECT:
evolve LLC
6020 Broad Street
Pittsburgh, PA 15206
T 412.362.2100
F 412.291.1582
www.evolveEA.com
Contact: Christine Mondor

PROPERTY OWNER:
Urban Redevelopment Association

This project is part of the
EAST LIBERTY PARK
PROJECT

Administered by:
Urban Redevelopment
Authority
200 Ross Street
Pittsburgh PA 15219
T 412.255.6600
Contact: Emily Mitchell



LANDSCAPE DETAILS

DATE	04/30/2018
AS NOTED	
SCALE	NJA
DRAWN BY	CKM
CHECKED BY	
PROJECT NO.	16-426
SHEET NUMBER	L.11

